



# The Paddock

House Design & Planning Package

# Your house

## This is where the fun begins!

Your design journey with some initial meetings with our architecture team, to form a detailed design brief of what you want from your home. A home is more than rooms and furniture, it is a place that needs to work for you and your lifestyle.

Enjoy collaborating with your Architect to create your home using the latest 3D visualisation software and make changes in real time during your design period. Our award winning architects and designers will ensure the design, size and specification of your new home exceeds your expectations while complying with planning conditions and delivered within your budget.

## About your house

Once your design brief is agreed, our architects will design a home for you that is:

- Contemporary in design with unique 'wow' features.
- A minimum of 3 bedrooms with open or broken living spaces.
- A maximum of 2 storeys with an anticipated floorspace of between 220-250m<sup>2</sup>.
- Energy efficient, utilising construction methods such as SIPS or Timber frame construction

Once your home has been design and received planning permission, you will be supported by CBH whilst you manage your self-build and appoint individual trades.



**BIMx** allows you to remotely walk around your home from the comfort of your tablet or computer - from an early point in your design process. It's game like controls mean that anyone can easily navigate around your home and then walk through the front door and into your stunning interior. It even shows furniture, lighting and the sun's path around your home!



# Your Design Journey

We have split the main design processes into, 2 easy to understand and straight forward stages. By completing these with CBH you will have the basic information required to start your construction work.

There are several additional services which you may require, and we can provide, along with the relevant costs.

## Stage 1

### House Design & Planning

This is the creative stage, where you will work with your architect to translate how you want to live into a new house design that you love. Your designer will lead this process, but there will be lots of opportunities for you to showcase designs you have seen online or in magazines to ensure the design style is as you want it to be.

After your house is designed and you have approved it, Custom Build Homes will submit the design to be approved by the council's planning department. This is a necessary process, but as the Design Code is pre-approved it should be dealt with quickly so that you can progress with creating your home.

## Stage 2

### Technical Designs & Building Regulations

This is the detailed design stage, where the approved designs will be tailored for construction, to ensure your new home is structurally sound and can be built without complication. The designs will also be prepared in line with a specific construction method, if known, this will save you time and money when appointing your builder.

Upon completion of the technical designs, they will be submitted for Building Regulations sign off. This is required to receive a 10-Year Structural Warranty certificate, which is a condition of sale and required to protect the value of your new home on completion.



## Stage 1: House Design & Planning

- Agree with you, your project brief, to ascertain your requirements in an in-depth video call
- Preparation of 2 design floor plan options for your review
- Review of floor plan options and confirm preferred design
- Revise the preferred floor plan and create a 3D model of exterior design
- Review 3D model and suggest amendments, final review stage
- Final design amendments, create a series of CGI images for review and preparation of any required planning documents
- Discuss final designs and confirm submission for planning
- Design is frozen prior to submission of planning application (changes after this stage will incur additional costs).
- CBH submits planning application and sends copy of submission to client
- Ongoing administering of planning application including all correspondence with planning officers

## Stage 2: Technical Designs & Building Regulations

- Architects and Structural Engineer to issue client with finishes schedule to complete online
- Finishes consultation to discuss next stages including heating and cooling design
- Upgrade planning drawings to Building Regulation status, including more detailed construction and specialist design elements SE, M&E & SAP. This includes window and door schedules
- Architect and Structural Engineer to issue client with final Building Regulation submission to client, integrating M&E design
- Pre-submission consultation with architect to update and answer any questions
- Architect to submit full plans Building Regulation application and sends copy of submission to client
- Ongoing administering of Building Regulation application including all correspondence with officers
- Post Building Regulation approval, architect will prepare and administer pre-construction H&S process and documentation for plot – CDM 2015 Principal Designer role
- The energy performance design and certification of your home will require a SAP calculation to be carried out during Stage 2. This assessment will predict the energy performance rating of your future home
- This (along with an air test, by others) prior to completion of the build will provide an EPC rating.

**Fixed Cost – £35,000 (ex VAT)**

# Additional Services

## 1: Face to face meetings

Our standard services are based around online meetings and utilising advanced 3D software, however from time to time you may wish to meet your designer. This can be completed at your home or on site for an additional cost.

**Fixed Cost – £350 (ex VAT) plus expenses per 90-minute meeting**

## 2. PHPP design tool

If like most you are striving for a low energy home and following the Fabric First principles (which we promote), then you will be looking for a way to accurately estimate your homes performance. Utilising the Passive House Planning Package (PHPP) is the only tool to be able to predict the following – energy use, CO2 emissions, heat loss and subsequent energy use.

We will prepare a PHPP calculation and report outlining the performance and any suggested amendments.

**Fixed Cost – £2,800 (ex VAT)**

## 3. Simple Part O Overheating Calculation

- Run the design of the building through the simple overheating calculation spreadsheet.
- Advise any changes that are required to minimise or reduce overheating issues.

**Fixed Cost – £250 (ex VAT)**

## 4. Complex Approved Part O Overheating Calculation (if required)

- Run the design of the building through the complex overheating calculation.
- Advise any changes that are required to minimise or reduce overheating issues.

**Fixed Cost – £850 (ex VAT)**



Inspired  
by design





# Payment Options

To simplify the payments for your design and planning service, we have split them into 4 equal amounts. These equal payments coincide with key project milestones, as outlined below –

## Payment Due

25% (£8,750)

25% (£8,750)

25% (£8,750)

25% (£8,750)

## Payment Dates

Invoiced on instruction

Invoiced on completion of planning Application information

Invoiced on planning approval

Invoiced on completion of Building Regulations information

Any additional services will be paid in full on instruction to complete the individual task, charged at an hourly rate (Architect – £80 per hour, Technician £55 per hour).

We are happy to receive payments in 2 main formats

## Option 1 – Online credit and debit card payments

We accept all major credit and debit cards; additional transaction fees may apply. This simple and secure method (via a button on our invoices), is powered by Stripe, who process billions of transactions each year.

## Option 2 – Pay by bank transfer, to the following account

BuildStore Custom Build Ltd

Account Number: 2117 0316

Sort Code: 83-06-08

All payments must clear our account within 14 days of the date of invoice.





## Exclusions

We have listed several services and costs, which may be required to construct your new home. As your architect, we can obtain competitive quotes for any of the required services.

- Air permeability test – £300 ex VAT (per test)
- Additional surveys, Topographical, Ecological, Intrusive SI Investigations etc
- Out of pocket expenses including mileage – charged at 45p per mile
- VAT is charged at the standard rate of 20% on our service
- Any additional services or work out with Stages will be charged at an hourly rate (Architect – £80 per hour, Technician £55 per hour).

## Terms & Conditions

- All documentation completed using CAD, BIM or other proprietary software will be provided to the client in PDF format only, unless agreed in writing otherwise.
- The Architect/Consultant shall have no liability to the Client in connection with any corruption or any unintended amendment, modification or alteration of the drawings or documents in digital format which occurs after they have been issued by the Architect/Consultant.
- Custom Build Homes (CBH) utilise Allan Corfield Architects Limited (ACA) as the Lead Designer who undertakes the architectural services on behalf of CBH. All design liability and Public Indemnity insurance cover is provided via Allan Corfield Architects Limited in reference to the plot referenced within this scope of works.
- The Architect/Consultant shall own all intellectual property rights, including copyright in the drawings and documents produced in performing the Services, and this clause generally asserts the Architect/Consultant's moral right to be identified as such work.
- The Contract is subject to the law of England and Wales and the parties submit to exclusive jurisdiction of the courts of England and Wales.
- The Client shall inform the Architect/Consultant of the project brief and the Construction Cost Budget as soon as reasonably practicable, of any subsequent changes required and agree next steps to mitigate the consequences of such changes.
- The Client shall make decisions and give approvals as necessary for the proper and timely performance of the services.
- The Client shall pay any statutory charges and any fees, expenses, and disbursements in respect of any obligations for planning, building control and other consents.
- In the performance of the Services and discharging of all obligations under the Contract, the Architect/Consultant will exercise the reasonable skill, care, and diligence to be expected of an Architect/Consultant experienced in the provision of such services for projects of similar size, nature and complexity to the project.
- The Architect/Consultant shall have the right to publish photography and other information relating to the project throughout construction and at the point of completion.
- The Architect/Consultant shall not disclose any confidential information unless it is already in the public domain and disclosure is required by law or because of disputes.





---

[hello@custombuildhomes.co.uk](mailto:hello@custombuildhomes.co.uk)

[custombuildhomes.co.uk](http://custombuildhomes.co.uk)

0345 223 4452

Great Michael House, 14 Links Place, Edinburgh EH6 7EZ

BuildStore Custom Build Ltd T/A Custom Build Homes

Company No. SC618421

The illustrations shown within this brochure are artist's impressions only and do not accurately depict landscaping, gradients or street furniture. Whilst every effort has been made to ensure that the information contained in this brochure is correct, it is designed specifically as a guide and Custom Build Homes reserves the right to amend the specification as necessary and without notice.

**LANDSTRÖM**